



CITY OF BLUFFDALE STANDARDS

AUGUST 2021
SHEET INDEX

Street Lights

	<u>Dwg Name</u>
Street Lights – Typical	SL-1A
Street Lights – Typical	SL-1B
Street Lights – Electrical Street Lighting Standards	SL-2

Street Improvement Details

Sidewalk Curb & Gutter	(REFER TO APWA STANDARDS)
Curb & Gutter Cross Section	ST-2
Flare Driveway	ST-3
Handicap Ramp	(REFER TO APWA STANDARDS)
Concrete Replacement Criteria	ST-5
Typical Utility Placement	ST-6A
Typical Utility Placement	ST-6B
Typical Street Cross-Section Part 1	ST-7A
Typical Street Cross-Section Part 2	ST-7B
Pavement Operation Requirements	ST-7D
Temporary Turnaround	ST-8
Sign Post	ST-9
Survey Monument Placement Detail	ST-10
Access Management/Cul de Sac/Intersection Detail	ST-11
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Trails and Paths Pavements	ST-13
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Storm Drainage Details

Storm Drain Trench Backfill	SD-1A & SD-1B
Catch Basin Curb Inlet	SD-2A & SD-2B
Drainage Box – Clean Out	SD-3
Drainage Box – Catch Basin	SD-4
Grates and Frames	SD-5
Inlet & Underground Detention System	SD-6
Storm Drain Diversion Manhole	SD-7
Swale 1 of 2	SD-8.1
Swale 2 of 2	SD-8.2
Rain Garden	SD-9
Inlet Sump	SD-10

Landscaping

Storm Drain Basin – Water Wise Landscape	L-1.1
Water Efficient Landscaping	L-1.2

General Construction

Plot Plan	GC-1
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Water System Details

	<u>Dwg Name</u>
Potable Waterline Installation Standards	W-1.1
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Drinking Water Service	W-2
Pressure Irrigation Service	W-3
1 1/2" & 2" Water Service	W-4
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Concrete Encasement of Pipe	W-16
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Multi Service Meter	W-18
Fire Hydrant and Water Meter Location	W-19

Storm Water Pollution Prevention

Inlet Protection	SWPP-1
Concrete Washout	SWPP-2
Trackout Pad	SWPP-3
Portable Toilet	SWPP-4
SWPPP Sign	SWPP-5
Cutback Curb	SWPP-6

Geotechnical Details

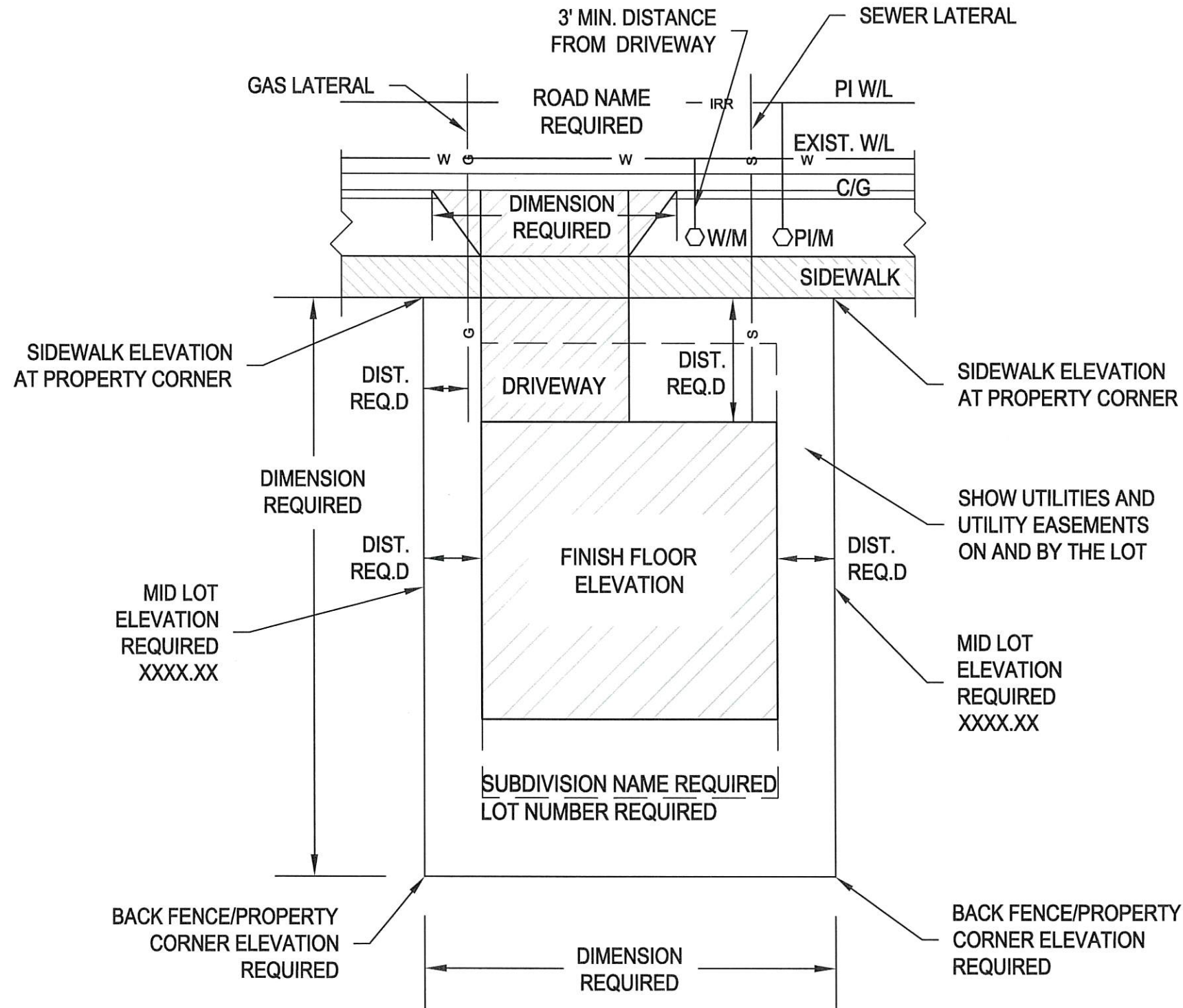
Retaining Walls on City Property, ROW & Easements	GEO-1
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Survey Details

As-Builts (RECORD DRAWINGS)	SUR-2
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Wireless Facility Details

Small Wireless Facilities	SWF-1
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NOTES:

1. SUBMIT A STAMPED PLOT PLAN WITH THE BUILDING APPLICATION AND SCHEDULE AN AS-BUILT GRADING INSPECTION FOR GRADING ACCEPTANCE PRIOR TO REQUESTING A CERTIFICATE OF OCCUPANCY.
2. PROVIDE DETAILED INFORMATION OF ALL UTILITIES AND UTILITY EASEMENTS, INCLUDING DIMENSIONS, SIZE, LOCATION, ETC.
3. MAP LOT TO SCALE ACCURATELY SHOWING ALL CORNERS, SHOW PROPERTY LINES OF THE LOT AND ADJACENT LOTS. SHOW THE ORIENTATION OF THE HOUSE AND THE LOT WITH A NORTH ARROW. PROVIDE PLOT SCALE.
4. SHOW EXACT LOCATION OF HOUSE FOOT PRINT WITHIN THE LOT, SHOWING FOUNDATION LINES AND ALL OTHER FEATURES RELATED TO THE HOUSE.
5. SHOW ELEVATION OF LOT CORNERS, MID LOT, AND HOUSE CORNERS AND LABEL PROPERTY.
6. SHOW PROPOSED DRAINAGE PATTERNS AND HOW THE STORM-WATER DISSIPATES FROM THE HOUSE AND LOT.
7. ATTACH APPROVED DEVELOPMENT GRADING PLAN. SHOW HOW THE LOT DRAINAGE FITS THE GRADING AND DRAINAGE PLAN.
8. GRADE INDIVIDUAL LOTS SO THAT THE GRADING CONFORMS TO THE APPROVED SUBDIVISION GRADING PLAN.
9. ARRANGE LOTS SO THEY ARE COMPLIANT WITH THE CURRENT VERSION OF THE INTERNATIONAL BUILDING CODE, THE CURRENT INTERNATIONAL FIRE CODE, AND CITY STANDARDS, DETAILS, AND SPECIFICATIONS.
10. PROVIDE DRIVE APPROACHES THAT COMPLY WITH CITY STANDARDS, DETAILS, AND SPECIFICATIONS.
11. DRAW PLOT PLANS AT A SCALE OF 1" = 20' MINIMUM
12. HAVE A UTAH LICENSED PROFESSIONAL ENGINEER CERTIFY THE INFORMATION REQUESTED ABOVE.
13. FOLLOW / USE THE TEMPLATE IN THIS STANDARD FOR ANY LOT PLOT PLAN.
14. PROVIDE ALL ELEVATION IN NAD 83 DATUM.