



**CASH ESCROW BOND AGREEMENT
FOR PUBLIC IMPROVEMENTS**

Date: _____

Address of Project: _____

Lot #: _____ Subdivision Name: _____

Parcel #: _____

**THIS CASH ESCROW BOND IS GIVEN TO INSURE THAT THE FOLLOWING WORK WILL BE
COMPLETED UNDER THE TERMS OF THE ATTACHED PUBLIC IMPROVEMENTS AGREEMENT.**

_____ \$ _____

I agree to the terms of the public improvements pertaining to the subject property agreement:

Contact Information:

Owner/Contractor Name

Owner/Contractor Telephone

Authorized Agent

Owner/Contractor Email

Mailing Address:

Escrow Release Contact Information:

Street

Telephone

City, State, & Zip Code

Email

Received By: _____ Date Received: _____

This agreement is exclusive to the parties named herein and is not assignable or transferable to any other parties. I (we) hereby warrant and represent that I (we) have the power to bind the above named Builder, Contractor, Firm, Owner, or Developer of the subject premises by affixing my signature hereto and I (we) hereby acknowledge that I (we) have thoroughly read the foregoing application and agreement and hereby acknowledge, understand, and agree to the terms contained herein.

Signature



Application for Bluffdale City Utility Services
 2222 W 14400 South, Bluffdale City, UT 84065

Phone: (801) 254-2200 Fax: (801) 253-3270

www.bluffdale.com

BILLING NAME:			
PHONE #1:		PHONE #2:	
RESIDENT:		SPOUSE:	
email:		email:	
Street Address Where Services are Required:			
Address: _____			
Mailing address if different:			
Address: _____			
City: _____		State: _____	Zip: _____
Set-up fee of \$35 will be added to the first billing.	Date of Closing: proof required	Purpose of Application:	
		Contractor: _____ New home: _____ Existing home: _____ <input type="checkbox"/> Commercial: _____ Other _____	
Please provide proof of closing date. We cannot put services in the name of renters or leasers.			
I, the undersigned, hereby apply for utility services from Bluffdale City for the above named premises and agree to pay any and all charges incurred for said services (including but not limited to culinary water, storm water, street lights and garbage collection) in accordance with rates fixed by Bluffdale City. Failure to pay my bill in full by the 25th of each month or having an excessive or extended balance, will result in an interruption or disconnection of service(s). I recognize and consent that a reconnection fee of \$50.00 will be assessed. Payment in full of all outstanding charges, including the reconnection fee will be required before services can be restored. I agree to be responsible for any damage to the water meter and any other damage pertaining to the service connection. Failure to pay said charges will result in interruption of services. I agree to pay all reasonable attorney fees and other costs incurred by Bluffdale City to obtain collection on this account, whether or not litigation is actually filed.			
Signature:			Date:
FOR OFFICE USE ONLY			
Previous Owner or Contractor:			
Name _____		Acct # _____	
Services: Water _____ Garbage _____ 2nd water _____ XG _____ XR _____ GRN WST _____ or opt out _____			Account #:
Date Toters Ordered:		Parcel Number:	Reading Sequence:
Subdivision:		Lot:	Meter #
			meter reading
Zone:		An Equal Opportunity Provider	Setup Date:
1 2			



Building Inspection Department

Landscaping Agreement

In order to help meet the goal of improving the appearance and living environment of Bluffdale City, landscaping on residential lots shall comply with the following standards:

1. Landscaping shall be installed in front yards between the front of the house and the sidewalk on the entire width of the lot, excluding the driveway.
Bluffdale Zoning Ordinance §§ 12.6.3.14, 12.6.4.14, 12.6.5.14
2. Landscaping shall include at least one tree and a combination of lawn, shrubs or ground cover. Ground cover may include vegetative vines, low spreading shrubs, annual or perennial flowering or foliage plants. Ground cover may also include mineral or non-living organic permeable material. Mineral ground cover may include such materials as rocks, boulders, gravel or brick over sand. Species, size and placement of landscape elements shall be determined by the homeowner. Bluffdale Zoning Ordinance § 12.29.35
3. In order to allow double driveways and to allow hard-surface access to the rear yard, up to but not more than 40% of a front yard may be paved.
4. I understand that the landscaping in the front yard can be completed at time of final inspection or have a landscape bond in the amount of \$3,000.00 for parcels less than 1.5 acres and \$5,000.00 for parcels totaling 1.5 acres or larger. The landscaping bond shall run with the land and inure to the benefit of the owner who causes the landscaping to be installed. If a bond is posted, landscaping shall be completed by one year from issuance of the certificate of occupancy.

As owner of LOT# _____ located in _____

 (Name of Subdivision)
 _____,
 (Address of Lot)

I have read and understand the standard outlined above and agree to abide by them. I agree that necessary landscaping will be completed at final or within one year with landscape bond. I further agree that if any City infrastructure is damaged, (sidewalk, water meter, etc.) it will be repaired before the landscape bond is released.

 Home Owner's Name (PLEASE PRINT)

 Home Owner's Signature Date

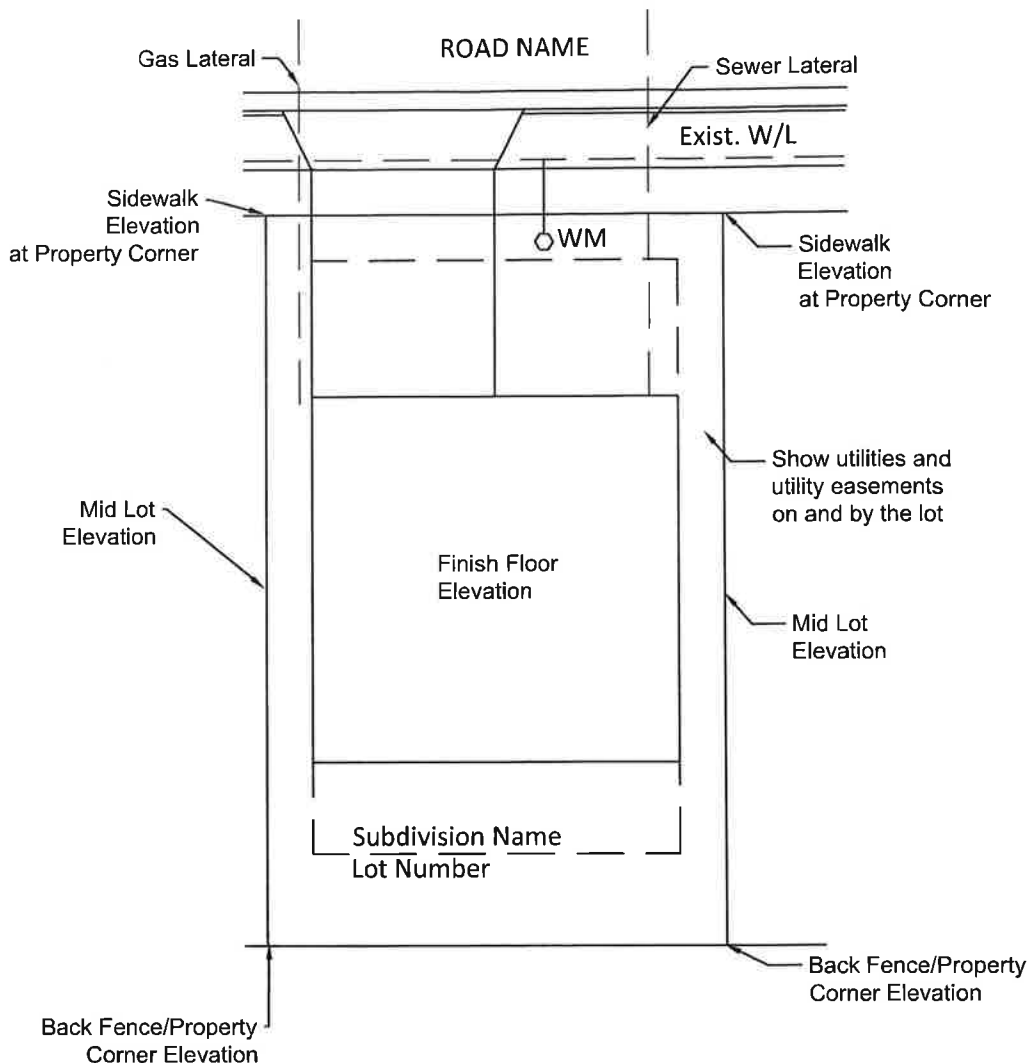
 Contractor or Sales Agent's Name (PLEASE PRINT)

 Contractor or Sales Agent's Signature Date

PLOT PLAN



SCALE 1" = 20' (Min.)



Plot Plan Requirements

1. Submit a stamped plot plan at building application and an as-built plot plan prior to requesting a certificate of occupancy.
2. Provide detailed information of all utilities and utility easement, including dimensions, size, location and ect.
3. Map lot to scale accurately showing all corners, show property lines of the lot and adjacent lots. Show the orientation of the house and the lot with a north arrow. Provide plot scale.
4. Show exact location of house foot print within the lot, showing foundation lines and all other features related to the house.
5. Show elevation of lot corners, mid lot, and house corners and label properly.
6. Show proposed drainage patterns and how the storm-water dissipates from the house.
7. Show how the lot drainage fits the plat grading and drainage plan.
8. Attach original grading plan.
9. Have a Utah Licensed Professional Engineer certify the information requested above.
10. Use this form or approved equal.
11. Use State Plane, NAD 83, Utah Central Zone Coordinate/Elevation System

CITY OF BLUFFDALE

Permits

Subdivision Name		Contractor's Name and Signature:	
		Applicant's Name:	
		Applicant's Address:	
Plat Name:	Lot Number:	Applicant's Telephone No.:	



Driveway Approach Encroachment Permit

All public infrastructure built within the City right of way must comply with Bluffdale City's standards and specifications. Applicant is responsible that the driveway approach is built according to City Standards.

The City Standards (ST-3) require:

- Residential – 6 inch UTCB (road base) compacted to a minimum 96% proctor density.
- Commercial – 8 inch UTCB (road base) compacted to a minimum 96% proctor density.
- Residential – 6 inch thick concrete be placed with 4000 PSI (APWA mix).
- Commercial – 8 inch thick concrete be placed with 4000 PSI (APWA mix).
- Consolidate concrete with vibrator per APWA spec 03 30 10 3.6
- No water added to finished concrete surface and broom finish.
- Maximum width 50 feet.

The applicant must request:

1. A preliminary inspection of the UTCB (road base). The city will verify compaction and thickness.
2. An inspection of the concrete pour. Must schedule 24 hours in advance, permit@bluffdale.com.

If the inspections are not completed, then one of the options below must happen at the owners expense:

- The drive approach will be removed and replaced.
OR
- Minimum 2 cores tested for strength and thickness (AMRL Accredited Lab)
Petrography report on both cores which includes (Approx. cost \$3000.00):
 - Estimated W/C ratio; Degree of hydration; Hardened air analysis (bubble size and spacing); Concrete density.Analysis of both top 1/4" and full core
Signed by a professional engineer licensed in State of Utah

The applicant must supply:

1. A site plan of work area with measurements, utilities, and any necessary information.
2. UTCB (road base) delivery ticket.
3. Concrete batch tickets showing the mix design.

PI Bond released upon receiving; Inspection reports by Bluffdale City or Petrograph report.

I have read and understand the standards outlined above and agree to comply with all applicable City standards.

Signature of Builder or Owner

Date

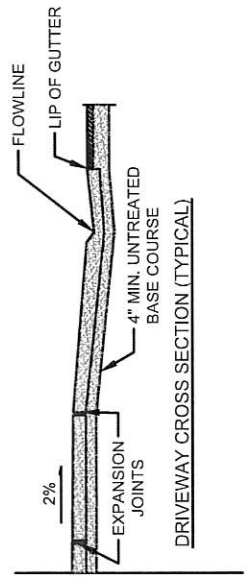
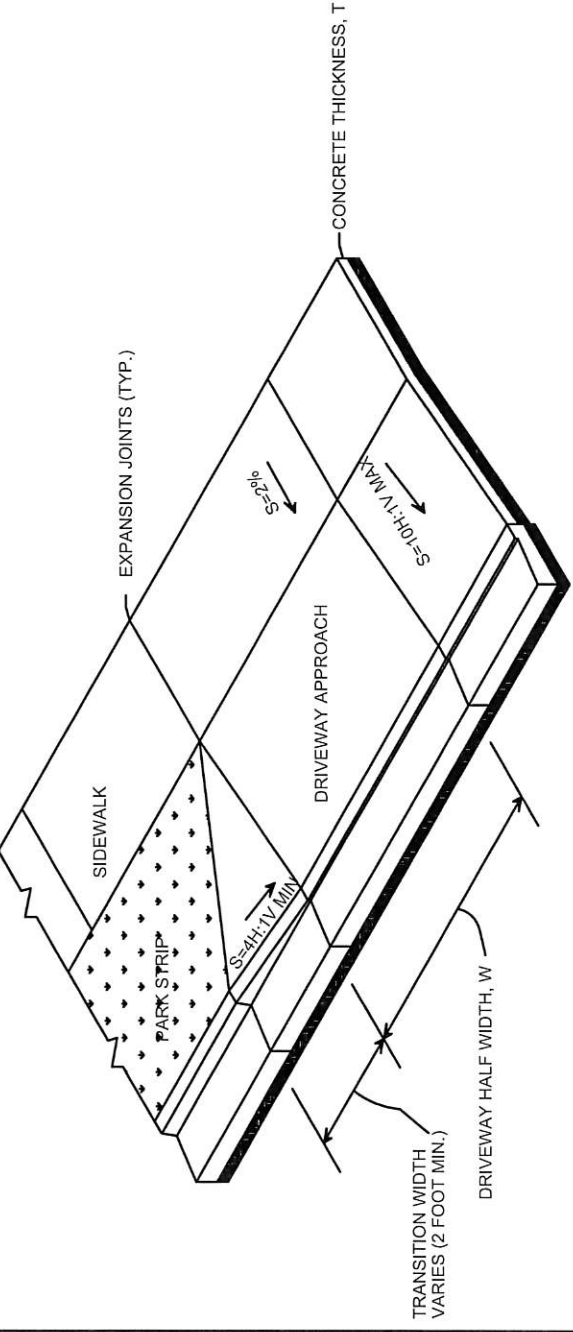
Print Name

Location/Address

Lot #

Email

Phone number



NOTES:

1. CHAMFER ALL CONCRETE EDGE WITH MIN. RADIUS OF 0.5 INCHES.
2. PROVIDE 0.5 INCH EXPANSION JOINT BETWEEN DRIVEWAY APRON AND CURB. DRIVEWAY CENTER LINE WHEN THE DRIVEWAY IS WIDER THAN 10 FEET AND SIDEWALK SEGMENTS. EXTEND THE EXPANSION JOINT 1 INCH BELOW THE CONCRETE AND PLACE IT FLUSH WITH THE SURFACE.
3. PLACE 6 INCH UNTREATED BASE(UTBC) UNDER CURB, GUTTER AND SIDEWALK. COMPACT THE UTBC TO 96% MODIFIED PROCTOR.
4. DO NOT EXCEED 15% SLOPE CHANGE FROM THE GUTTER TO THE DRIVEWAY SLOPE. REDUCE DRIVEWAY SLOPE TO MEET REQUIREMENT.
5. SET FRONT EDGE OF SIDEWALK 2% HIGHER THAN TOP OF BACK OF CURB (MIN. 1 INCH).
6. THE CITY ENGINEER MAY APPROVE SPECIFIC DESIGNS WHEN VARIATIONS FROM THE STANDARDS ARE NEEDED DUE TO SITE CONDITIONS, UTILITY, OR TOPOGRAPHICAL CONSTRAINTS. ANY VARIANT OF THESE DETAILS MUST BE BASED UPON A DESIGN STAMPED BY A UTAH LICENSED PROFESSIONAL CIVIL ENGINEER.

DRIVEWAY
 CONCRETE MINIMUM THICKNESS
 RESIDENTIAL = 6 INCHES
 INDUSTRIAL/COMMERCIAL/INSTITUTIONAL = 8 INCHES
 MINIMUM WIDTH = 10 FEET
 MAXIMUM WIDTH = 30 FEET - UNLESS SHOWN ON AN APPROVED SITE PLAN

SIDEWALK
 MATERIAL: CONCRETE
 THICKNESS: 5-INCHES MIN.
 UTBC: 6-INCH MIN.

PATH
 MATERIAL: ASPHALT
 THICKNESS: 3-INCHES
 UTBC: 8-INCH

STANDARD DETAIL

FLARE DRIVEWAY

BLUFFDALE
 STREETS
 ST-3

City of Bluffdale
 Engineering Standards
 Approved: *[Signature]*
 Date: 01/10/18

